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3D PERSPECTIVE OF PROPOSAL



LOCATION PLAN nts



ACCREDITED  
BUILDING DESIGNER



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DESIGN STUDIO

PROPOSED: Secondary Dwelling

PREPARED FOR: Haydar Issa  
ADDRESS: 222 Old Kent Rd, Greenacre NSW 2190 LOT: 2 DP: 19526 REV A

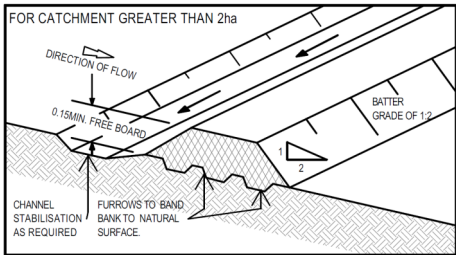


# GENRAL NOTES AND DETAILS

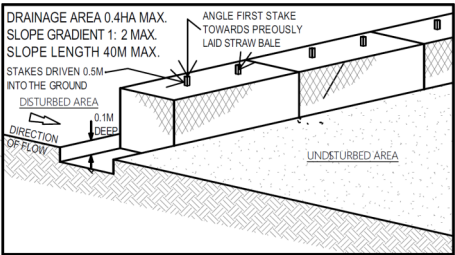
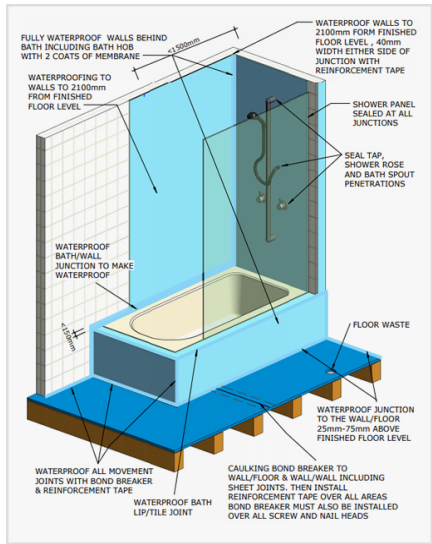
1. Do Not Scale. All Dimensions are in millimeters.  
2. Contractor/Builder to check ans verify all levels and dimensions on site and shall report any discrepancies or omissions to this office prior to start of construction works & during the construction phase.  
3. Drawing is to be read and understood in conjunction with structrual, mechanical, electrical and / or any other consultant/s documentation as may be applicable to the project prior to start or work & it's duration  
4. Any additional request for information is to be referred to the architect or engineer in writing.  
5. All Construction Practices shall be in accordance with the general requirements of the Building Code of Australia (BCA), Austalian Standrads and local government regulations & The Principal Certifying Authority.  
6. Erosion & sediment control measures to be in place prior to excavation or construcion work.  
7. Where applicable, all sediment basins ans traps shall be claened when structures are a maximum of 60% full of soil materials, including the maintainence period.  
8. Filter shal be constructed by stretching filter fabric (propex or approved equivalent) between post at 2.0m centres. Fabric shall be buried 150mm along its lower edge.  
9. Revegetation and storage of soil and topsoil, shall be implemented to the standards of the soil conservation of NSW.  
10. All siteworks indicated are illustrative only.  
11. Final levels may be subject to adjustment, such adjustments, while complying with council requirements remain at the discretion of the Builder and must obtain such variations of final levels from council or PCA in writing.  
12. This plan has been prepared from a combination of field survey and existing records for the purpose of construction on the land and should not br used for any othert purpose.  
13. The builder shall engage a Registered Surveyor to peg-out all structures shown on plans.  
14. Prior to any demolition, excavation or construction on the site, the relevant authority should be contacted for possible location or further underground services and detailed location of all services.  
15. Contours have been interpolated from the spot heights taken.  
16. All demolition work to be carried out in accordance with AS 2601-2001, refer to NSW Coccupational Health and Safety Act & regulations and NOHSC guide to control of Asbestos Hazards in building and structures during demolition. Removal of all asbestos must be carried out by licensed contractors.  
17. Protection measures are required for each frss being retained on site and shall be extablisbed before operations begin and construction in accordance with Council's requirements (also refer to Arborist report for details).  
18. During construction the stability of the structure shall be the builder's responsibility.  
19. Builder shall make good all disturbed areas adjacent to the works on Council's road, Footpaths are to be restored on the satisfaction of the principal certifying authority & local authority (also refer to DA conditions).  
levels to hydraulic engineer's details and specifications.

26. All balustrades to terraces, balconies and stairs to comply with BCA  
27. All wet areas to have floors which fall to floor wastes.  
28. Unless the door in a sanitary room swings out or slide, where distance between the path of door swing and toilet suite is less than 1.2m, the door must be installed with removable (Lift-Off) hinges.  
29. All materials and form of construction to comply with BCA requirements.  
30. All materials & assemblies to hae fire hazard properties to comply with BCA.  
31. Refer to BASIX certificate for Water, Thermal Comfort & Energy performance requirements.  
32. All wet areas to comply with AS 3740. Wall finished shall be impervious to a height of 1800mm above floor level to shower enclosures and 300mm above baths, basins, sinks ans troughs if within 75mm of the wall. Refer to code for all requirements.  
33. Shower screens shall be Grade A safety glass.  
34. Window sizes are nominly only, actual size will vary according to manufacturer. Windows to be flashed all round.  
35. Stormwater shall be taken to legal point of discharge as advised by municipal drainage eginer. Contact the Council if unsure of point of discharge.  
36. Sewer or septic system shall be in accordance with the relevant authorities requirements.  
37. Footings not to enroach title boundaries and easement lines. Builder to ensure this does not occur.  
38. Provide wall ties to brickwork at a maximum of 600mm centres in eash direction and within 300mm of articulated joints.  
39. Sub floor vents & cleasrances to BCA  
40. Stair & Handrail requirements to BCA (domestic only)  
Risers - 190mm maximum - 150mm minimum  
Going 355 maximum - 240mm minimum.  
Handrail 1000mm minimum height to balconies and decks which are 1000mm or more above ground level.  
41. The builder shall take all steps necessary yo ensure the stability of new and existing structures during all works.  
42. The builder shall ensure for the general watertightness of all new and existing works.  
43. Smoke alarms to be provided and installed in accordance with AS 3786. New dwellings and additions with sleeping accomodation to be hard wired with back-up battery.  
44. All work shall comply with, buht not limited to the following Australian Standards:  
AS 1288: Glass in Buildings - Selection and Installation  
AS 1562: Design and Installation of Sheet Roof and Wall Cladding  
AS 1684: Residential Timber Framed Construction  
AS 1860: Installllion of Particle Board Flooring  
AS 2047: Installllion and Selection of Windows  
AS 2049: Roof Tiles  
AS 2050: Fixing of Roof Tiles  
AS 2870: Residential Slabs and Footings  
AS 2904: Damp Proof Courses and Flashings  
AS 3500: Plumbing & Drainage  
AS 3600: Concrete Structures  
AS 3660: Protection of Buildings from Subteranean Termites  
AS 3700: Masonry in Buildings  
AS 3740: Waterproof of Wet Areas in Residential Construction  
AS 3959: Construction in a Bushfire Prone Area  
AS 3786: Smoke Alarms  
AS 4055: Wind Loadings for Housing  
AS 4100: Steel Structures  
Note: All proprietary items, products & systems shall be installld in acordance

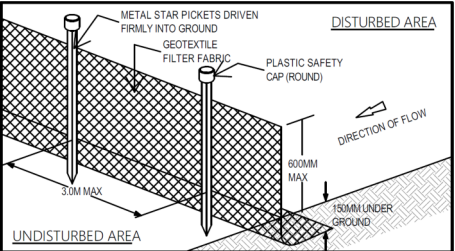
• Roof and Wall External Linings  
Refer to Schedule of External Finishes for selection of external linings  
Building Code of Australia 2019 part 3.5 - Roof and Wall Cladding.  
AS 1562.2 - Design and Installation of Sheet Roofing and Wall Cladding - Metal  
AS/NZS 1562.2 - Design and Installation of Sheet Roof and Wall Cladding - Corrugated  
fibre-reinforced Cement  
AS/NZS 4200 - Installation of Pliable Membrane and Underlay  
• Sarking  
All sarking used shall be:  
• Non-combustible, or  
•Breather type sarking complying with AS/NZS 4200.1 and with a flammability index of not more than 5 (see AS1530.2) and sarked on the outside of the frame, or  
• An insulation material conforming to the appropriate Australian Standard for that material.  
• Stairs, Balustrades and Pool Fencing  
Building Code of Australia 2019 Part 3.9 - Safe Movement and Access  
AS 1926.1 - Safety Barriers for swimming pools  
• Ceiling, Wall and Floor Internal Linings  
Refer to Schedule of Internal Finishes for selection of internal linings  
AS 2588 - Gypsum Plasterboard  
AS 2589 - Gypsum Linings in Residential and Light Commercial Construction - Application and Finishing  
AS2455 - Textile Floor Coverings - Installation Practice  
AS 3958.1 - Ceramic Tiles - Part 1 Guide to the Installation of Ceramic Tiles  
AS 3958.2 - Ceramic Tiles - Part 2 Guide to the selection of Ceramic Tile System  
AS 2358 - Adhesives for Fixing Ceramic Tiles  
• Windows, Doors and Glazing  
Refer to Schedules of finishes for window, door and glazing selection and finishes  
Refer to Window and Door Schedule for window and door type, size and location  
Refer to Architectural Drawings for internal doors location  
Building Code of Australia 2019 Part 3.6 - Glazing  
AS 1288 - Glass in Buildings - Selection and Installation  
AS 2047 - Windows in Buildings - Selection and Installation  
AS/NZS 2208 - Safety Glazing Materials in Buildings  
AS 2688 - Timber Doors  
AS 2689 - Tiber Door Sets  
• Wet Areas  
Building Code of Australia Part 3.8 - Health and Amenity  
AS 3740 - Waterproofing of Wet Areas Within Residential Buildings  
AS 4386.1 - Domestic Kitchen Assemblies - Kitchen Units  
AS 4386.2 - Domestic Kitchen Assemblies - Installation



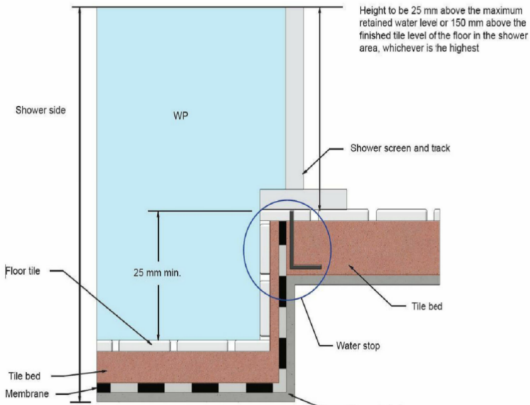
DIVERSION BANK AND CHANNEL



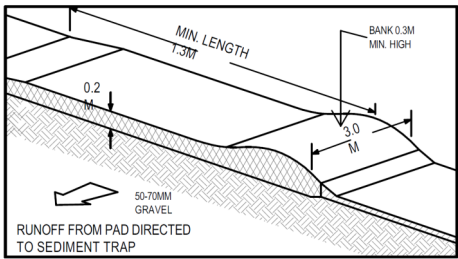
STRAW BALE SEDIMENT FILTER



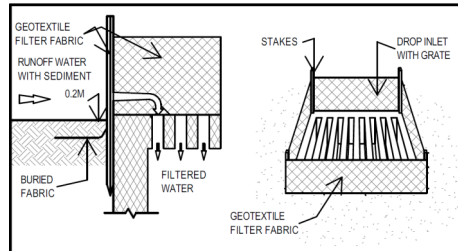
SEDIMENT FENCE



STEP DOWN ENCLOSED SHOWER MEMBRANE BELOW TILE BED DETAIL



TEMPORARY CONSTRUCTION EXIT



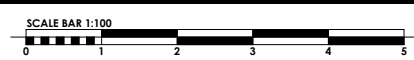
GEOTEXTILE FILTER FABRIC DROP INLET SEDIMENT TRAP



AHMAD EL-MOUBAYED  
(+61) 0421 113 616  
INFO@AMDESIGNSTUDIO.COM.AU



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DEVELOPEMENT APPLICATION

DATE	DESCRIPTION	ISSUE
18.10.2023	ISSUED FOR CLIENT APPROVAL	A
02.01.2024	ISSUED FOR CLIENT APPROVAL	B

PROJECT DESCRIPTION:  
  
- SECONDARY DWELLING

DRAWING TITLE:  
**GENRAL NOTES & DETAILS**

CLIENT DETAILS:  
Haydar Issa

PROJECT NUMBER:  
2023-004

DATE:  
02.01.2024

DRAWING NUMBER:  
**A101**

PROJECTION LOCATION:  
ADDRESS: 222 OLD KENT ROAD, GREENACRE NSW  
LOT NUMBER: 2 SECTION PLAN: - DEPOSITED PLAN: 19526



## Description of project

### Project address

Project name	222 Old kent Rd - Granny flat
Street address	222 Old Kent Road Greenacre 2190
Local Government Area	Canterbury-Bankstown Council
Plan type and plan number	Deposited Plan 19526
Lot no.	2
Section no.	-

### Project type

Project type	separate dwelling house - secondary dwelling
No. of bedrooms	2

### Site details

Site area (m²)	588
Roof area (m²)	106
Conditioned floor area (m2)	45.0
Unconditioned floor area (m2)	5.0
Total area of garden and lawn (m2)	90
Roof area (m2) of the existing dwelling	105
No. of bedrooms in the existing dwelling	3

### Assessor details and thermal loads

Assessor number	n/a
Certificate number	n/a
Climate zone	n/a
Area adjusted cooling load (MJ/m².year)	n/a
Area adjusted heating load (MJ/m².year)	n/a
Ceiling fan in at least one bedroom	n/a
Ceiling fan in at least one living room or other conditioned area	n/a

### Project score

Water	✓ 40	Target 40
Thermal Comfort	✓ Pass	Target Pass
Energy	✓ 55	Target 50

### Schedule of BASIX commitments

The commitments set out below regulate how the proposed development is to be carried out. It is a condition of any development consent granted, or complying development certificate issued, for the proposed development, that BASIX commitments be complied with.

#### Water Commitments

##### Fixtures

The applicant must install showerheads with a minimum rating of 4 star (> 4.5 but <= 6 L/min plus spray force and/or coverage tests) in all showers in the development.

The applicant must install a toilet flushing system with a minimum rating of 6 star in each toilet in the development.

The applicant must install taps with a minimum rating of 6 star in the kitchen in the development.

The applicant must install basin taps with a minimum rating of 6 star in each bathroom in the development.

##### Alternative water

###### Rainwater tank

The applicant must install a rainwater tank of at least 2000 litres on the site. This rainwater tank must meet, and be installed in accordance with, the requirements of all applicable regulatory authorities.

The applicant must configure the rainwater tank to collect rain runoff from at least 100 square metres of the roof area of the development (excluding the area of the roof which drains to any stormwater tank or private dam).

The applicant must connect the rainwater tank to:

- at least one outdoor tap in the development (Note: NSW Health does not recommend that rainwater be used for human consumption in areas with potable water supply.)

#### Thermal Comfort Commitments

##### Windows, glazed doors and skylights

The applicant must install the windows, glazed doors and shading devices described in the table below, in accordance with the specifications listed in the table. Relevant overshadowing specifications must be satisfied for each window and glazed door.

The dwelling may have 1 skylight (<0.7 square metres) which is not listed in the table.

The following requirements must also be satisfied in relation to each window and glazed door:

- For the following glass and frame types, the certifier check can be performed by visual inspection.

- Aluminium single clear
- Aluminium double (air) clear
- Timber/ulPVC/fibreglass single clear
- Timber/ulPVC/fibreglass double (air) clear

Window/glazed door no.	Maximum height (mm)	Maximum width (mm)	Type	Shading Device (Dimension within 10%)	Overshadowing
<b>East facing</b>					
W-01	600	2500	aluminium, single, clear	eave 450 mm, 200 mm above head of window or glazed door	not overshadowed
W-02	1500	2000	aluminium, single, clear	eave 450 mm, 200 mm above head of window or glazed door	not overshadowed
<b>South facing</b>					
W03	1500	2000	aluminium, single, clear	eave 450 mm, 200 mm above head of window or glazed door	not overshadowed
W04	1500	2000	aluminium, single, clear	eave 450 mm, 200 mm above head of window or glazed door	not overshadowed
<b>West facing</b>					
W05	1500	2000	aluminium, single, clear	eave 450 mm, 200 mm above head of window or glazed door	not overshadowed

#### Energy Commitments

##### Hot water

The applicant must install the following hot water system in the development, or a system with a higher energy rating: gas instantaneous with a performance of 6 stars.

##### Cooling system

The applicant must install the following cooling system, or a system with a higher energy rating, in at least 1 living area: 1-phase airconditioning: Energy rating: 6 Star (old label)

The applicant must install the following cooling system, or a system with a higher energy rating, in at least 1 bedroom: 1-phase airconditioning: Energy rating: 6 Star (old label)

##### Heating system

The living areas must not incorporate any heating system, or any ducting which is designed to accommodate a heating system.

The bedrooms must not incorporate any heating system, or any ducting which is designed to accommodate a heating system.

##### Ventilation

The applicant must install the following exhaust systems in the development:

At least 1 Bathroom: no mechanical ventilation (ie. natural); Operation control: n/a

Kitchen: no mechanical ventilation (ie. natural); Operation control: n/a

Laundry: natural ventilation only, or no laundry; Operation control: n/a

##### Artificial lighting

The applicant must ensure that the "primary type of artificial lighting" is fluorescent or light emitting diode (LED) lighting in each of the following rooms, and where the word "dedicated" appears, the fittings for those lights must only be capable of accepting fluorescent or light emitting diode (LED) lamps:

- at least 3 of the bedrooms / study; dedicated

- at least 1 of the living / dining rooms; dedicated

- the kitchen; dedicated

Thermal Comfort Commitments	Show on DA plans	Show on CC/CDC plans & specs	Certifier check
<b>General features</b>			
The dwelling must not have more than 2 storeys.	✓	✓	✓
The conditioned floor area of the dwelling must not exceed 300 square metres.	✓	✓	✓
The dwelling must not contain open mezzanine area exceeding 25 square metres.	✓	✓	✓
The dwelling must not contain third level habitable attic room.	✓	✓	✓

##### Floor, walls and ceiling/roof

The applicant must construct the floor(s), walls, and ceiling/roof of the dwelling in accordance with the specifications listed in the table below.	✓	✓	✓
---	---	---	---

Construction	Additional insulation required (R-Value)	Other specifications
floor - suspended floor above enclosed subfloor, concrete	1.20 (or 1.8 including construction) (down)	
external wall - framed (weatherboard, fibre cement, metal clad)	3.00 (or 3.40 including construction)	
ceiling and roof - flat ceiling / pitched roof	ceiling: 5 (up), roof: foil/sarking	unventilated; medium (solar absorptance 0.475-0.70)

Note • Insulation specified in this Certificate must be installed in accordance with Part 3.12.1.1 of the Building Code of Australia.

Note • In some climate zones, insulation should be installed with due consideration of condensation and associated interaction with adjoining building materials.

#### Energy Commitments

- all bathrooms/toilets; dedicated

- the laundry; dedicated

- all hallways; dedicated

##### Natural lighting

The applicant must install a window and/or skylight in the kitchen of the dwelling for natural lighting.

The applicant must install a window and/or skylight in 2 bathroom(s)/toilet(s) in the development for natural lighting.

##### Other

The applicant must install a gas cooktop & gas oven in the kitchen of the dwelling.

The applicant must construct each refrigerator space in the development so that it is "well ventilated", as defined in the BASIX definitions.

The applicant must install a fixed outdoor clothes drying line as part of the development.

### Legend

In these commitments, "applicant" means the person carrying out the development.

Commitments identified with a ✓ in the "Show on DA plans" column must be shown on the plans accompanying the development application for the proposed development (if a development application is to be lodged for the proposed development).

Commitments identified with a ✓ in the "Show on CC/CDC plans and specs" column must be shown in the plans and specifications accompanying the application for a construction certificate / complying development certificate for the proposed development.

Commitments identified with a ✓ in the "Certifier check" column must be certified by a certifying authority as having been fulfilled, before a final occupation certificate(either interim or final) for the development may be issued.

#### PROJECT DESCRIPTION:

- SECONDARY DWELLING

#### DRAWING TITLE:

**BASIX REQUIREMENTS**

#### CLIENT DETAILS:

Haydar Issa

#### PROJECT NUMBER:

2023-004

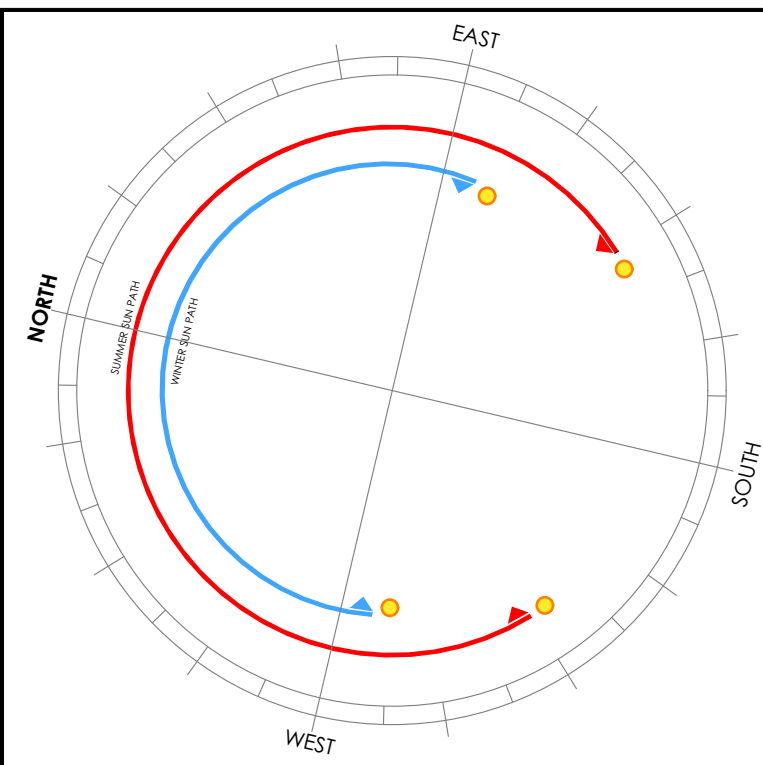
#### DATE:

02.01.2024

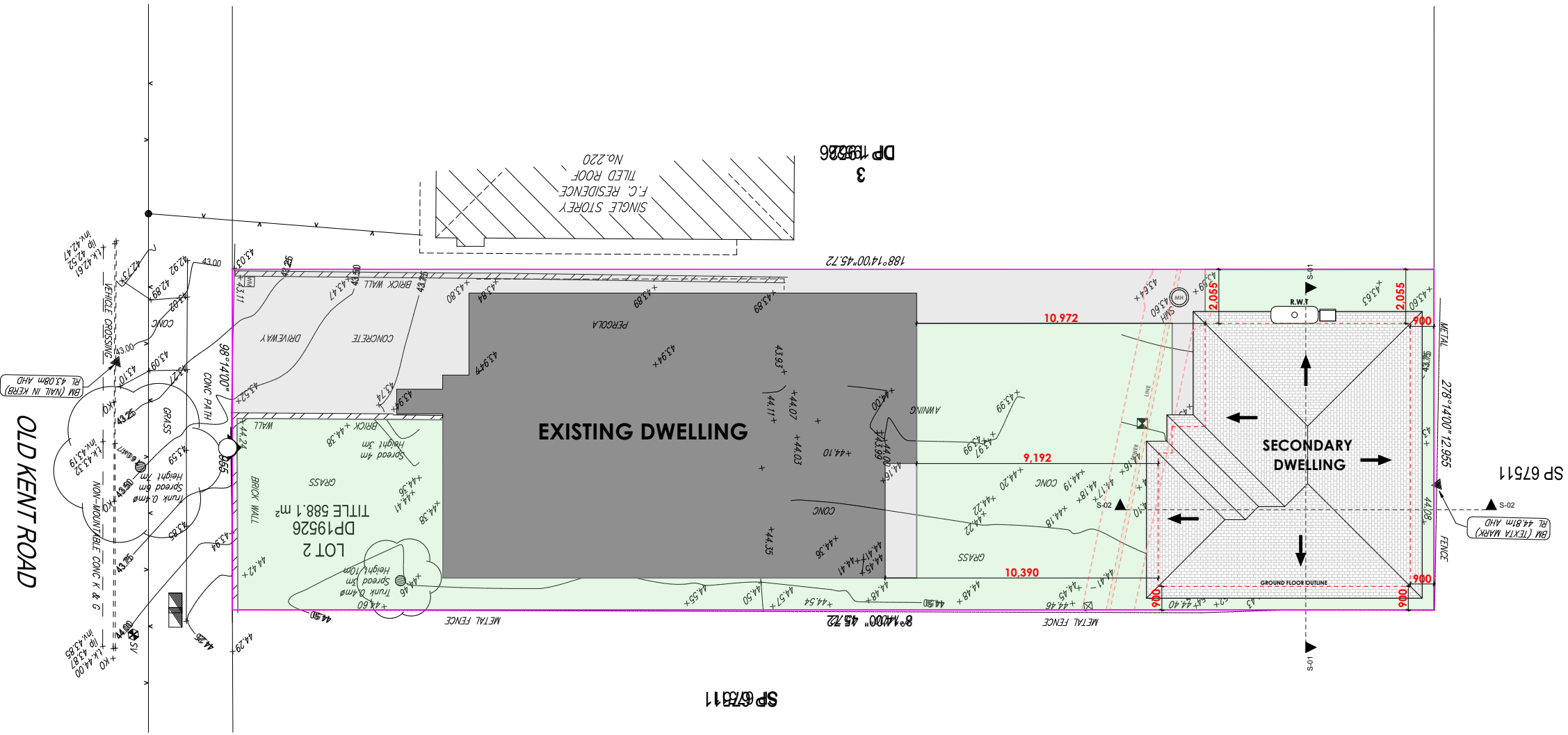
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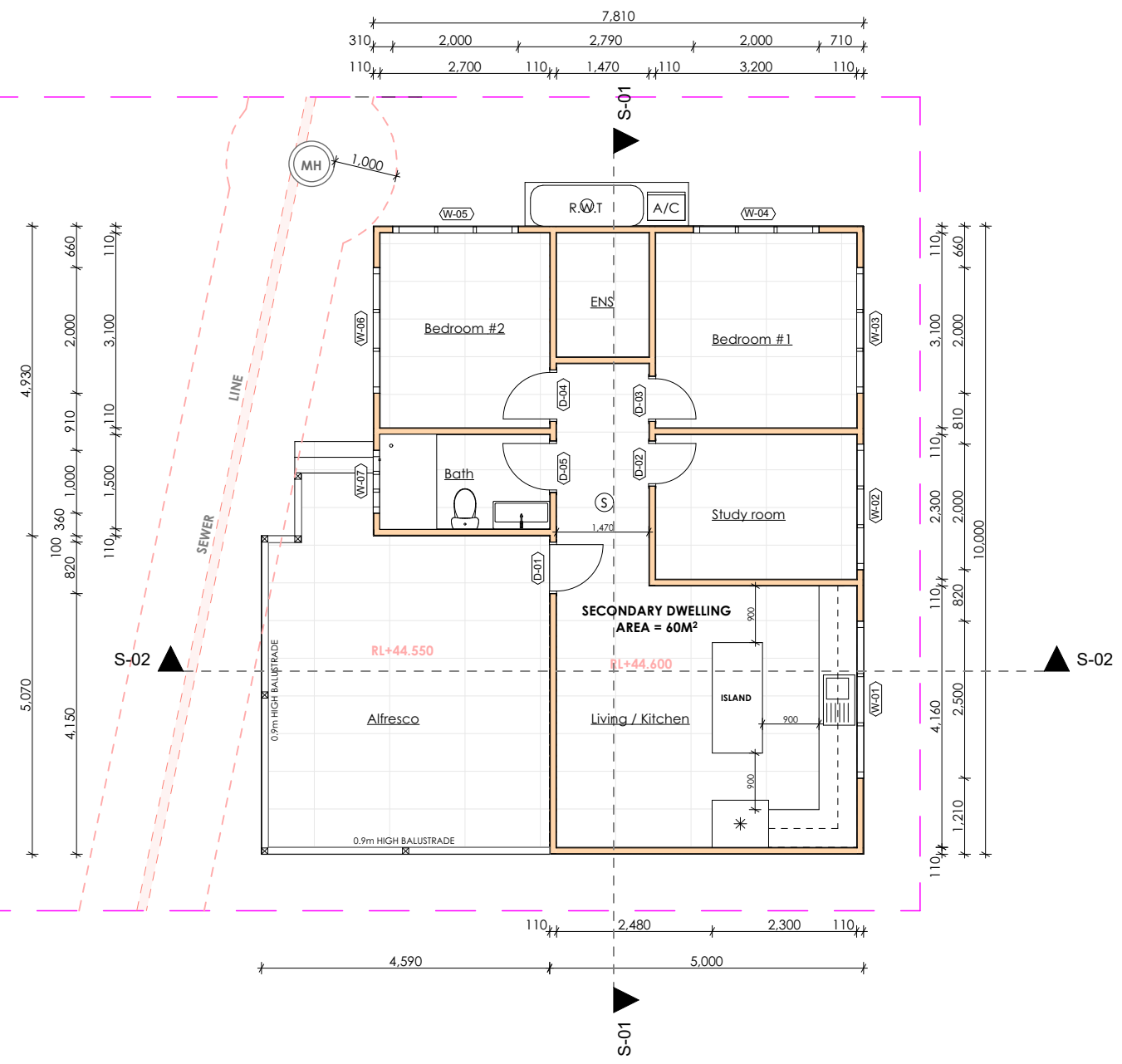
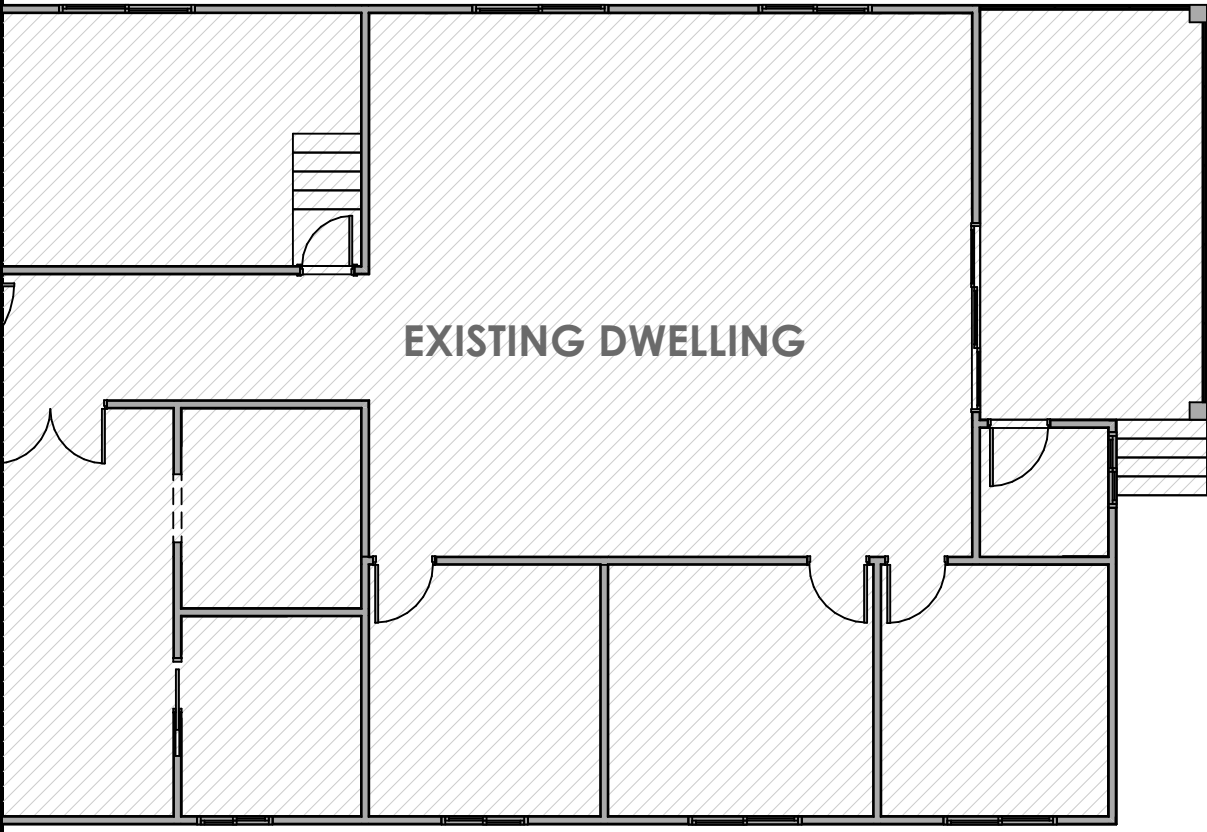




COMPLIANCE TABLE		
CONTROL	REQUIRED	PROPOSED
SITE AREA (m <sup>2</sup> )	450m <sup>2</sup> min	588.1m <sup>2</sup>
GROSS FLOOR AREA	0.5:1 ( 294.05m <sup>2</sup> )	Existing - 141.15m <sup>2</sup> Secondary - 60m <sup>2</sup> Total - 201.15m <sup>2</sup>
LANDSCAPE AREA	45% front of building line 103.86 x 45= 46.737m <sup>2</sup>	56.81m <sup>2</sup>
PRIVATE OPEN SPACE	80m <sup>2</sup> min 5m throughout	80m <sup>2</sup>
FRONT SETBACK	5.5m min	35.3m
SIDE SETBACK	min 0.9m	0.9m
REAR SETBACK	min 0.9m	0.9m
BUILDING HEIGHT	9.0m	4.65m



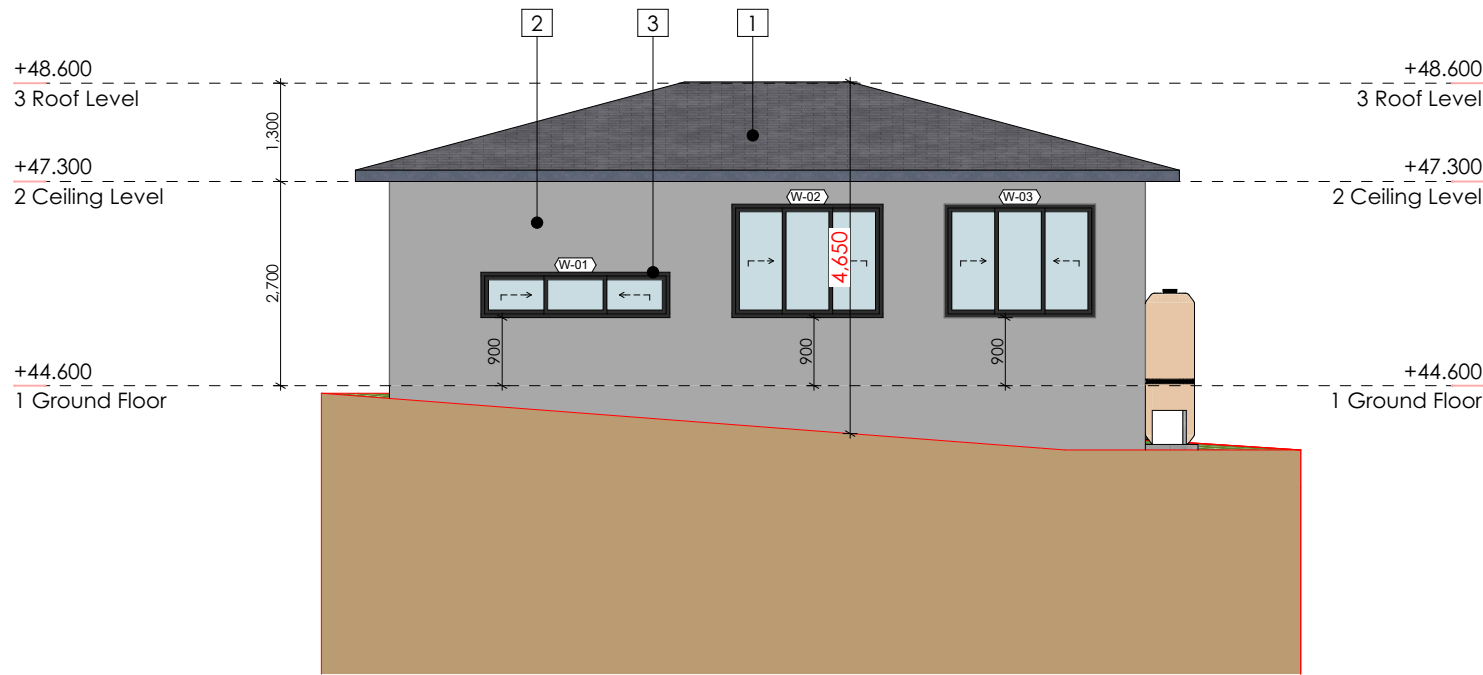
SITE, ROOF, ANALYSIS PLAN  
1:200



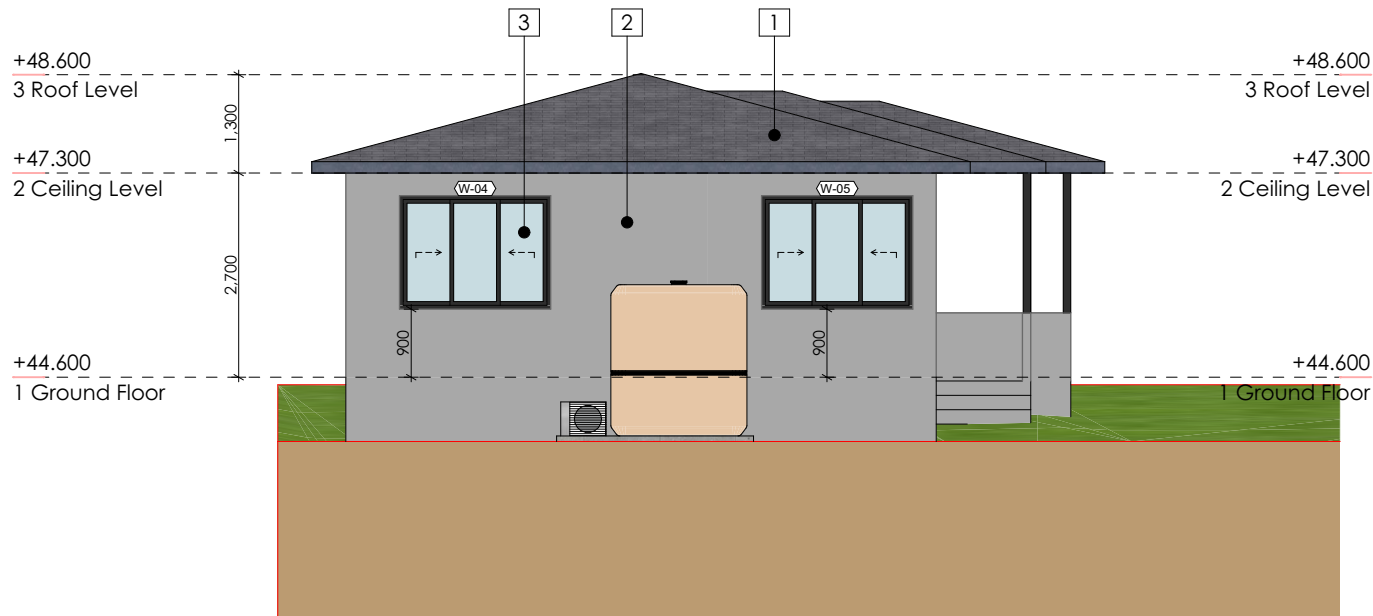
Door Schedule		
Element ID	Quantity	W x H Size
D-01	1	820×2,100
D-02	1	720×2,100
D-03	1	720×2,100
D-04	1	820×2,100
D-05	1	820×2,100

Window Schedule		
Element ID	Quantity	W x H Size
W-01	1	2,500×600
W-02	1	2,000×1,500
W-03	1	2,000×1,500
W-04	1	2,000×1,500
W-05	1	2,000×1,500
W-06	1	2,000×1,500
W-07	1	1,000×600

GROUND FLOOR LVL  
1:100




SIDE ELEVATION (NORTH)  
1:100



FRONT ELEVATION (EAST)  
1:100

LEGEND	
1	TITLED ROOF AT 15° PITCH
2	TIMBER STUD WALL TO BE RENDERED
3	ALUMINIUM FRAMED WINDOW

NOTES:  
METAL ROOFING TO BE IN ACCORDANCE WITH AS1562.1  
BALUSTRADES TO BE IN ACCORDANCE WITH AS1428.1-2009  
TRANSLUCENT GLASS TO BE INDICATED BY:   
GLASS TO BE IN ACCORDANCE WITH AS1288.1-2006

**IMPORTANT NOTE:**  
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SCALE BAR 1:100	0 1 2 3 4 5
DEVELOPEMENT APPLICATION	

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02.01.2024	ISSUED FOR CLIENT APPROVAL	B

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- SECONDARY DWELLING

DRAWING TITLE:
ELEVATION PAGE 1
PROJECTION LOCATION:
ADDRESS: 222 OLD KENT ROAD, GREENACRE NSW
LOT NUMBER: 2 SECTION PLAN: - DEPOSITED PLAN: 19526

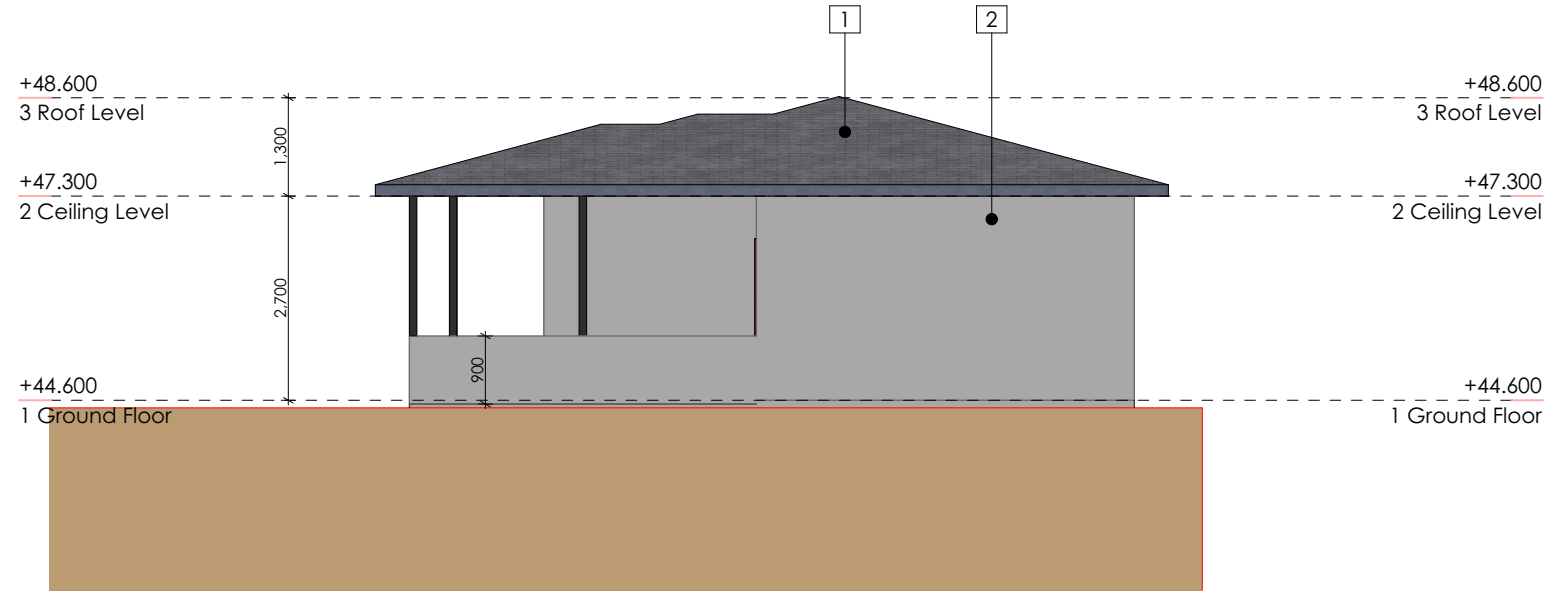
CLIENT DETAILS:
Haydar Issa

PROJECT NUMBER:
2023-004
DATE:
02.01.2024
DRAWING NUMBER:
A105

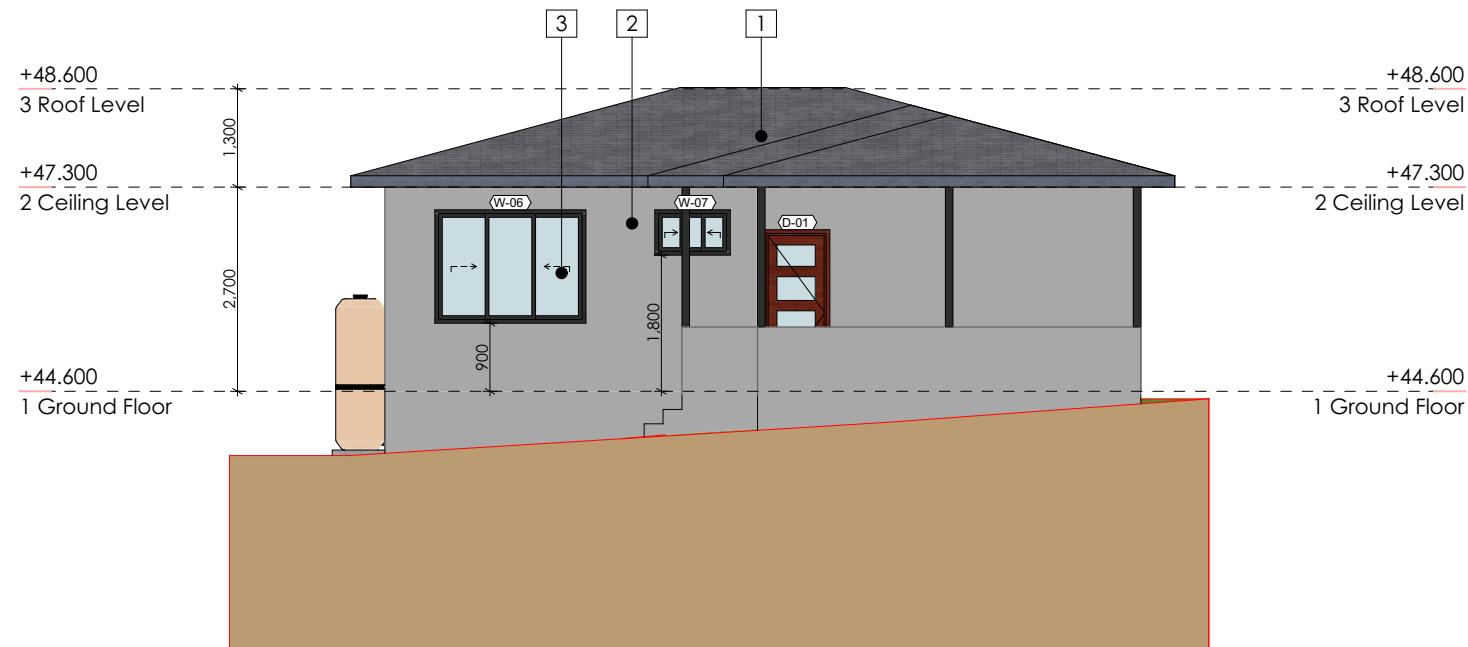


AHMAD EL-MOUBAYED  
(+61) 0421 113 616  
INFO@AMDESIGNSTUDIO.COM.AU






**SIDE ELEVATION (SOUTH)**  
1:100



**REAR ELEVATION (WEST)**  
1:100

LEGEND	
1	TITLED ROOF AT 15° PITCH
2	TIMBER STUD WALL TO BE RENDERED
3	ALUMINIUM FRAMED WINDOW

NOTES:  
METAL ROOFING TO BE IN ACCORDANCE WITH AS1562.1  
BALUSTRADES TO BE IN ACCORDANCE WITH AS1428.1-2009  
TRANSLUCENT GLASS TO BE INDICATED BY:   
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DESIGN STUDIO

AHMAD EL-MOUBAYED

(+61) 0421 113 616

INFO@AMDESIGNSTUDIO.COM.AU




ACCREDITED  
BUILDING DESIGNER



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**IMPORTANT NOTE:**  
The builder shall check all dimensions and levels on site prior to construction. Notify any errors, discrepancies or omissions to the architect. Refer to written dimensions only. Do not scale drawings. Drawings shall not be used for construction purposes until issued for construction. This drawing reflects a design by AM Design Studio PTY LTD and is to be used only for work when authorized in writing. It is the contractor's responsibility to confirm all measurements on site and locations of any services prior to work on site. All documents here within are subject to Australian Copyright Laws. Do not scale off drawings. Refer to Architectural Plans. Verify dimensions on site. All works are to comply with the Building Code of Australia, all relevant Local Authorities, planning policies and certifying bodies. All work to comply with Building Code of Australia, requirements of relevant Statutory Authorities & Local Government & relevant Australian Building Standards. Builder to ensure compliance with all Work Cover requirements. Check all timber sizes with a Structural Engineer and have all structural steelwork & concrete work designed by a Structural Engineer. When proprietary products are referred to, install in accordance with the manufacturers written instructions. Check all dimensions on site prior to construction. If in doubt, check with architect. All discrepancies and omissions to be reported to Architect.

SCALE BAR 1:100



DEVELOPEMENT APPLICATION

DATE	DESCRIPTION	ISSUE
18.10.2023	ISSUED FOR CLIENT APPROVAL	A
02.01.2024	ISSUED FOR CLIENT APPROVAL	B

PROJECT DESCRIPTION:

- SECONDARY DWELLING

DRAWING TITLE:

ELEVATION PAGE 2


CLIENT DETAILS:

Haydar Issa

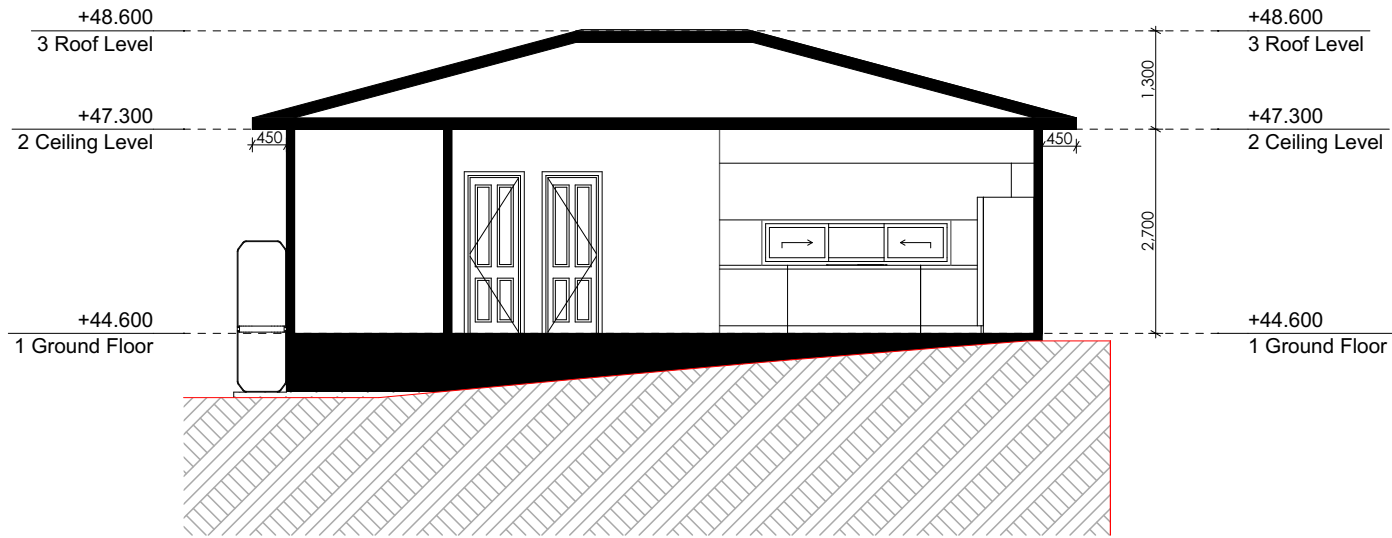
PROJECTION LOCATION:

ADDRESS: 222 OLD KENT ROAD, GREENACRE NSW  
LOT NUMBER: 2 SECTION PLAN: - DEPOSITED PLAN: 19526

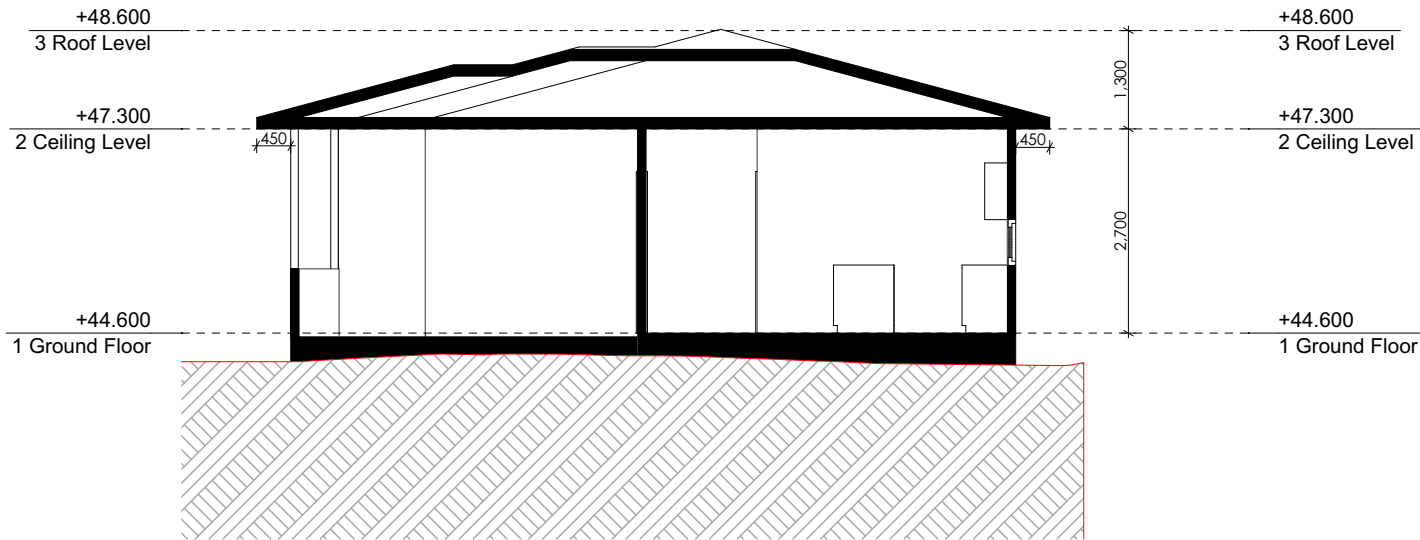
PROJECT NUMBER:	2023-004
DATE:	02.01.2024
DRAWING NUMBER:	A106



A3



LONG SECTION  
1:100



STAIR SECTION





01 - GREY RENDER TO  
MATCH PRIMARY DWELLING



02 - BLACK ALUMINIUM  
FRAMED



03 - TIMBER ENTRY DOOR



04 - BLACK TILED ROOF





DATE	DESCRIPTION	ISSUE
18.10.2023	ISSUED FOR CLIENT APPROVAL	A
02.01.2024	ISSUED FOR CLIENT APPROVAL	B

PROJECT DESCRIPTION:
- SECONDARY DWELLING

DRAWING TITLE: 3D MODEL VIEW	CLIENT DETAILS: Haydar Issa
PROJECTION LOCATION: ADDRESS: 222 OLD KENT ROAD, GREENACRE NSW LOT NUMBER: 2 SECTION PLAN: - DEPOSITED PLAN: 19526	PROJECT NUMBER: 2023-004 DATE: 02.01.2024 DRAWING NUMBER: A109